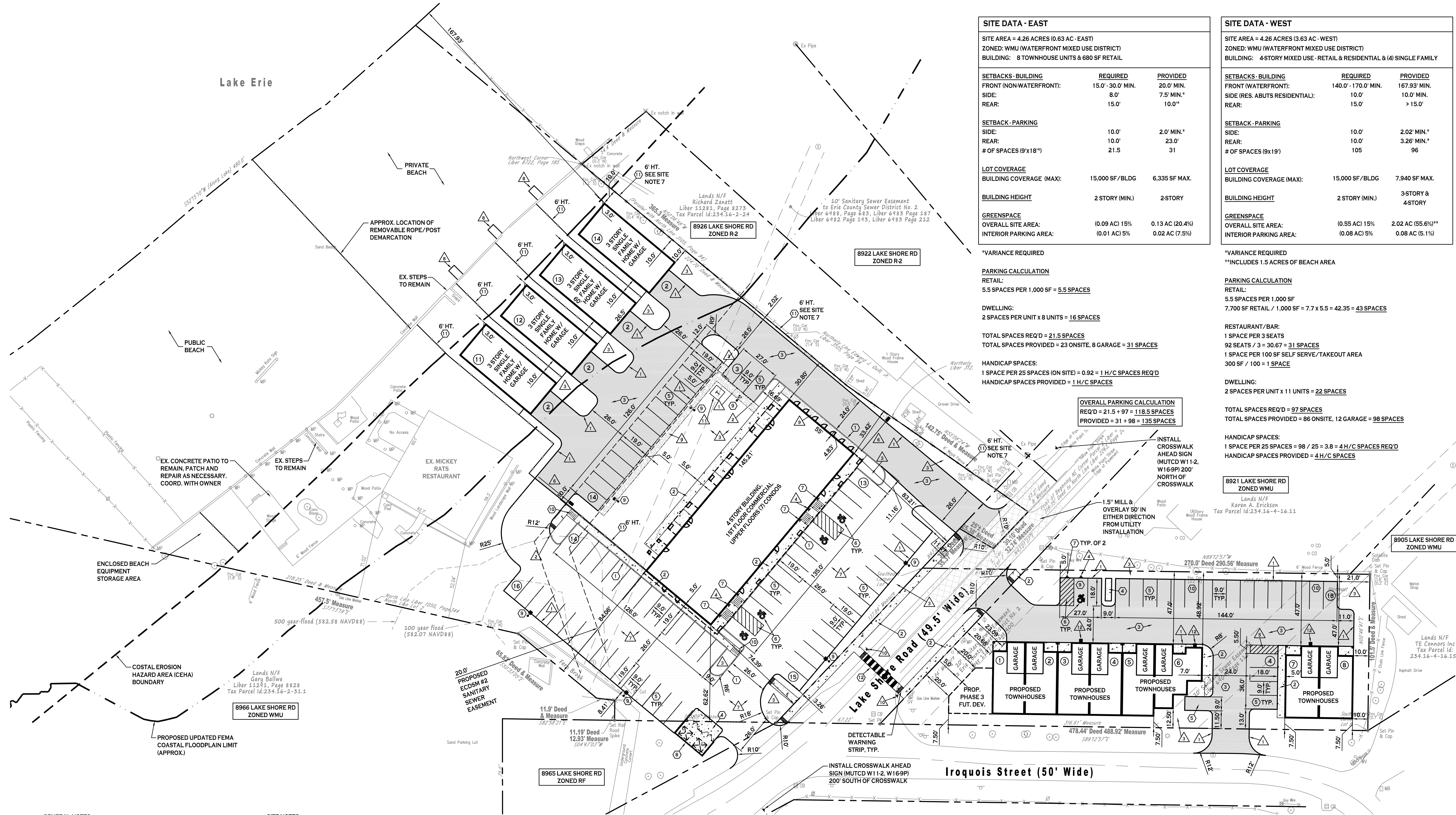


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SITE DATA - EAST		
SITE AREA = 4.26 ACRES (0.63 AC - EAST)		
ZONED: WMU (WATERFRONT MIXED USE DISTRICT)		
BUILDING: 8 TOWNHOUSE UNITS & 680 SF RETAIL		
SETBACKS - BUILDING	REQUIRED	PROVIDED
FRONT (NON-WATERFRONT):	15.0' - 30.0' MIN.	20.0' MIN.
SIDE:	8.0'	7.5' MIN.*
REAR:	15.0'	10.0'
SETBACK - PARKING		
SIDE:	10.0'	2.0' MIN.*
REAR:	10.0'	23.0'
# OF SPACES (9'x18')	21.5	31
LOT COVERAGE		
BUILDING COVERAGE (MAX):	15,000 SF/BLDG	6,335 SF MAX.
BUILDING HEIGHT	2 STORY (MIN.)	2-STORY
GREENSPACE		
OVERALL SITE AREA:	(0.09 AC) 15%	0.13 AC (20.4%)
INTERIOR PARKING AREA:	(0.01 AC) 5%	0.02 AC (7.5%)

SITE DATA - WEST		
SITE AREA = 4.26 ACRES (3.63 AC - WEST)		
ZONED: WMU (WATERFRONT MIXED USE DISTRICT)		
BUILDING: 4-STORY MIXED USE - RETAIL & RESIDENTIAL & (4) SINGLE FAMILY		
SETBACKS - BUILDING	REQUIRED	PROVIDED
FRONT (WATERFRONT):	140.0' - 170.0' MIN.	167.93' MIN.
SIDE (RES. ABUTS RESIDENTIAL):	10.0'	10.0' MIN.
REAR:	15.0'	> 15.0'
SETBACK - PARKING		
SIDE:	10.0'	2.02' MIN.*
REAR:	10.0'	3.26' MIN.*
# OF SPACES (9'x19')	105	96
LOT COVERAGE		
BUILDING COVERAGE (MAX):	15,000 SF/BLDG	7,940 SF MAX.
BUILDING HEIGHT	2 STORY (MIN.)	3-STORY & 4-STORY
GREENSPACE		
OVERALL SITE AREA:	(0.55 AC) 15%	2.02 AC (55.6%)*
INTERIOR PARKING AREA:	(0.08 AC) 5%	0.08 AC (5.1%)

**\*VARIANCE REQUIRED**

**PARKING CALCULATION**

RETAIL:  
5.5 SPACES PER 1,000 SF = **5.5 SPACES**

DWELLING:  
2 SPACES PER UNIT x 8 UNITS = **16 SPACES**

TOTAL SPACES REQ'D = **21.5 SPACES**  
TOTAL SPACES PROVIDED = **23 ONSITE, 8 GARAGE = 31 SPACES**

HANDICAP SPACES:  
1 SPACE PER 25 SPACES (ON SITE) = 0.92 = 1 H/C SPACES REQ'D  
HANDICAP SPACES PROVIDED = **1 H/C SPACES**

**\*VARIANCE REQUIRED**

**\*\*INCLUDES 1.5 ACRES OF BEACH AREA**

**PARKING CALCULATION**

RETAIL:  
5.5 SPACES PER 1,000 SF  
7,700 SF RETAIL / 1,000 SF = 7.7 x 5.5 = 42.35 = **43 SPACES**

RESTAURANT/BAR:  
1 SPACE PER 3 SEATS  
92 SEATS / 3 = 30.67 = **31 SPACES**  
1 SPACE PER 100 SF SELF SERVE/TAKEOUT AREA  
300 SF / 100 = 1 SPACE

DWELLING:  
2 SPACES PER UNIT x 11 UNITS = **22 SPACES**

TOTAL SPACES REQ'D = **97 SPACES**  
TOTAL SPACES PROVIDED = **86 ONSITE, 12 GARAGE = 98 SPACES**

HANDICAP SPACES:  
1 SPACE PER 25 SPACES = 98 / 25 = 3.8 = 4 H/C SPACES REQ'D  
HANDICAP SPACES PROVIDED = **4 H/C SPACES**

**OVERALL PARKING CALCULATION**  
REQ'D = 21.5 + 97 = **118.5 SPACES**  
PROVIDED = 31 + 98 = **135 SPACES**

**SITE PLAN**  
SCALE: 1"=30'

- GENERAL NOTES:**
- INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
  - SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
  - WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
  - VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
  - CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
  - CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
  - CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.

- SITE NOTES:**
- ALL RADII SHALL BE 3'-0" UNLESS OTHERWISE NOTED.
  - ALL DISTURBED AREAS SHALL HAVE 4" MIN. OF TOPSOIL & SEED.
  - ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
  - CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.
  - BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
  - ALL HANDICAP RAMPS AND/OR SIDEWALKS FLUSH TO PAVEMENT SHALL HAVE ADA COMPLIANT TACTILE WARNING STRIPS WHERE ENTERING PARKING AREAS/DRIVEWAYS.
  - REMOVE EXISTING FENCE ALONG PROPERTY LINES AS NEEDED FOR INSTALLATION OF NEW FENCING. COORDINATE WITH OWNER AND NEIGHBORING PROPERTIES.
  - CONDO BUILDINGS 9 - 14 WILL BE DESIGNED AND DEVELOPED BY OTHERS. THE CONCRETE/PATIO AREA WITHIN THE COSTAL EROSION HAZARD AREA (CEHA) BETWEEN THE SHOWN FOOTPRINTS AND EXISTING BREAK WALL IS TO REMAIN UNTIL CONDOS ARE DEVELOPED. IT WILL BE THE RESPONSIBILITY OF THE CONDO OWNER/DEVELOPER TO OBTAIN ALL NECESSARY PERMITS FOR WORK WITHIN THE CEHA AT A LATER DATE. ALL ACCESSORIES SUCH AS FENCING, STAIRS, ETC. WILL BE NYSDCE COMPLIANT AND DETAILED BY OTHERS.

- DETAIL LEGEND** SEE SITE DETAIL SHEET
- ① TYPE "A" CONCRETE CURB
  - ② CONCRETE SIDEWALK
  - ③ STANDARD DUTY ASPHALT
  - ④ EXTERIOR CONCRETE SLAB ON GRADE
  - ⑤ 90° PARKING STALL
  - ⑥ HANDICAPPED PAVEMENT MARKINGS
  - ⑦ HANDICAPPED PARKING SIGN
  - ⑧ DUMPSTER ENCLOSURE
  - ⑨ LIGHT POLE FOUNDATION - SEE LIGHTING PLAN
  - ⑩ SIDEWALK CURB RAMP
  - ⑪ BOARD ON BOARD FENCE
  - ⑫ CROSSWALK STRIPING

- NOTE LEGEND**
- ▲ EDGE OF PAVEMENT
  - ▲ RUNOUT CURB IN 2' OR MATCH EXISTING CURB
  - ▲ LANDSCAPED AREA - SEE LANDSCAPE PLAN, IF NO PLANTINGS, INSTALL TOPSOIL & SEED
  - ▲ INSTALL "NO PARKING" SIGN, M.U.T.C.D. SIGN NO. P1-1C
  - ▲ INFILL AREA W/4" WIDE YELLOW PAVEMENT STRIPES @ 2' O.C. & 45°
  - ▲ AUTOMATIC GATE. REFER TO ARCH. PLANS FOR DETAILS
  - ▲ YIELD TO PEDESTRIAN SIGN, MUTCD NO. W11-2 & W16-7P (BACK TO BACK)
  - ▲ YELLOW REFLECTIVE POST STRIP COVER
  - ▲ PAD MOUNTED TRANSFORMER. COORD. WITH UTILITY CO.
  - ▲ WALL PACK LIGHTING - SEE LIGHTING PLAN

**SITE LEGEND**

PROPERTY LINE	---
PROPOSED CURB	---
PROPOSED SIDEWALK / CONCRETE PAD	---
NUMBER OF PARKING SPACES	②⑦
PROPOSED SIGN	▼
PROPOSED ASPHALT PAVEMENT	---
PROPOSED LIGHT POLE	▼
PROPOSED MILL & OVERLAY	---

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



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**Grandview Bay**  
8934 Lake Shore Road  
Evans, NY

**REVISIONS:**

No.	Description	Date
1	Rev. waterfront building numbers	7/10/23

**DRAWING NAME:**  
Site Plan

Date: 4/7/23  
Drawn By: P. Sheedy  
Scale: As Noted

**DRAWING NO.:**  
**C-100**

Project No: 20.079